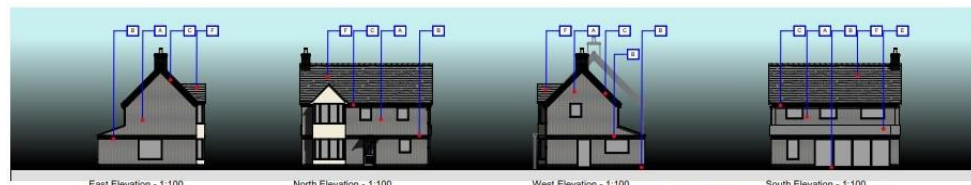




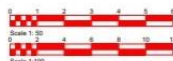
Land adjoining 4 Woodnesborough Road,  
Sandwich, CT13 0AA  
OIEO £220,000

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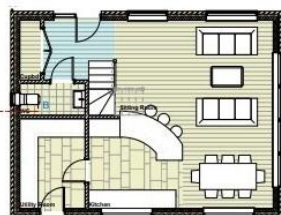
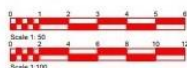




Plot 1



Plot 2



Ground Floor Plan - 1:50

First Floor Plan - 1:50

# Land adjoining 4 Woodnesborough Road, Sandwich CT13 0AA

A rare opportunity to purchase a town centre building plot with full planning permission for two detached houses to be built with parking to the rear.

## Situation

The plot is at the town centre end of Woodnesborough Road, immediately next to the railway line and the level crossing.

The popular historic Cinque Port town of Sandwich offers a comprehensive range of amenities including supermarket, independent shops, bank, post office, chemist, doctor and dentist surgeries, restaurants, public houses and a choice of well-regarded schools and leisure facilities. The Princes Golf Club and Royal St Georges Golf Club are close by at Sandwich Bay. From Sandwich there are connecting train services to London St Pancras and Charing Cross, whilst the A299 Thanet Way facilitates rapid access to the M2 motorway. For channel crossings the port of Dover is approximately 13 miles and the Channel Tunnel terminal at Cheriton is approximately 22 miles distant.

## The Property

A plot of residential building land for the "Erection of 2no. detached dwellings, formation of vehicle access, associated parking, and associated works and landscaping. Application Number 21/01783."

## Services

It is understood that all mains services will be available to connect up to in this location, however, potential buyers should make their own enquiries.

## Agents Note

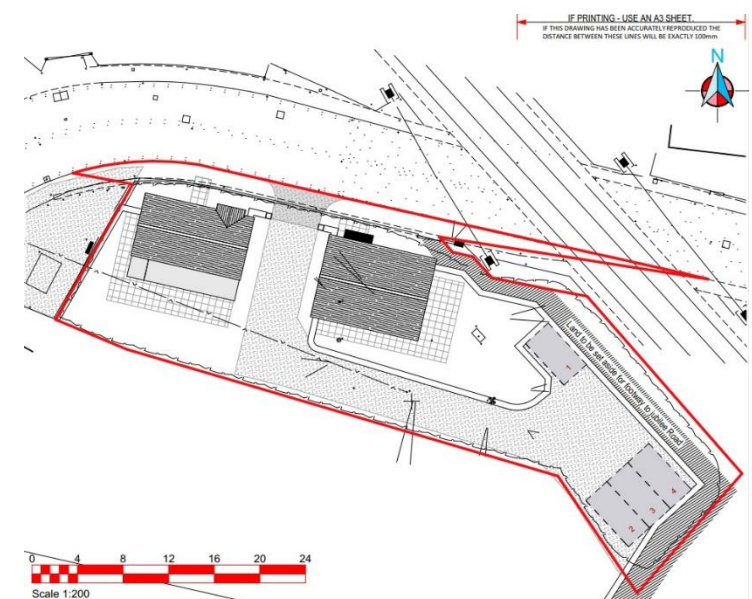
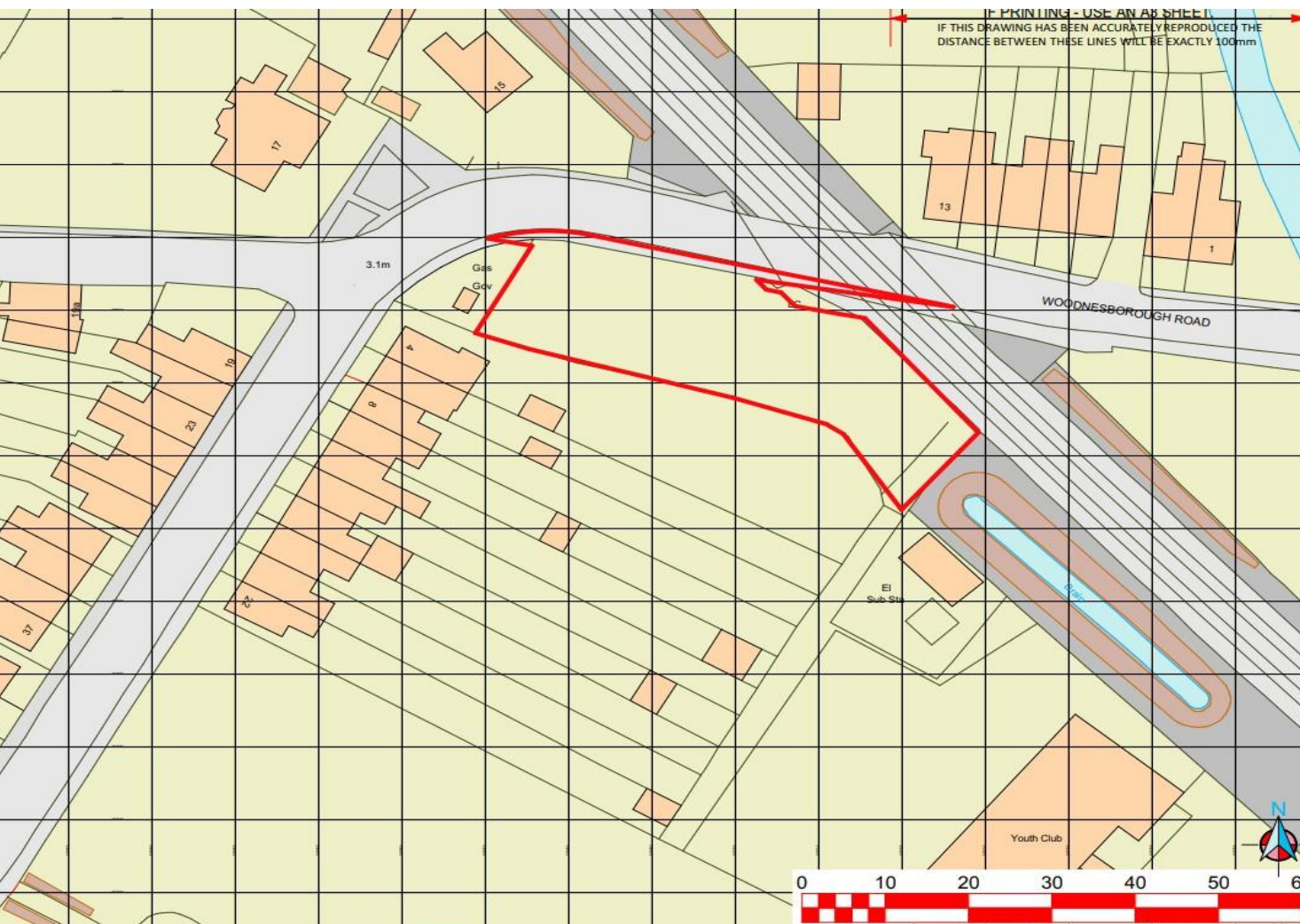
**A 40% overage will apply within a period of 5 years** from the date of completion of the purchase if the buyer shall procure an enhanced planning permission (by way of appeal or otherwise) which increases the size or number of dwellings to be constructed either on the sale area or in conjunction with any adjoining or adjacent land whereby access is afforded over the sale area.

## Local Authority

Dover District Council, White Cliffs Business Park, Whitfield, Dover, Kent, CT16 3PJ.

## Tenure

Freehold



To view this property call Colebrook Sturrock on **01304 612197**

19 Market Street, Sandwich, Kent CT13 9DA  
t: 01304 612197  
sandwich@colebrooksturrock.com



colebrooksturrock.com

IMPORTANT: we would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. A detailed survey has not been carried out, nor the services, appliances and fittings tested. Room sizes should not be relied upon for furnishing purposes and are approximate. If floor plans are included, they are for guidance only and illustration purposes only and may not be to scale. If there are any important matters likely to affect your decision to buy, please contact us before viewing the property.

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